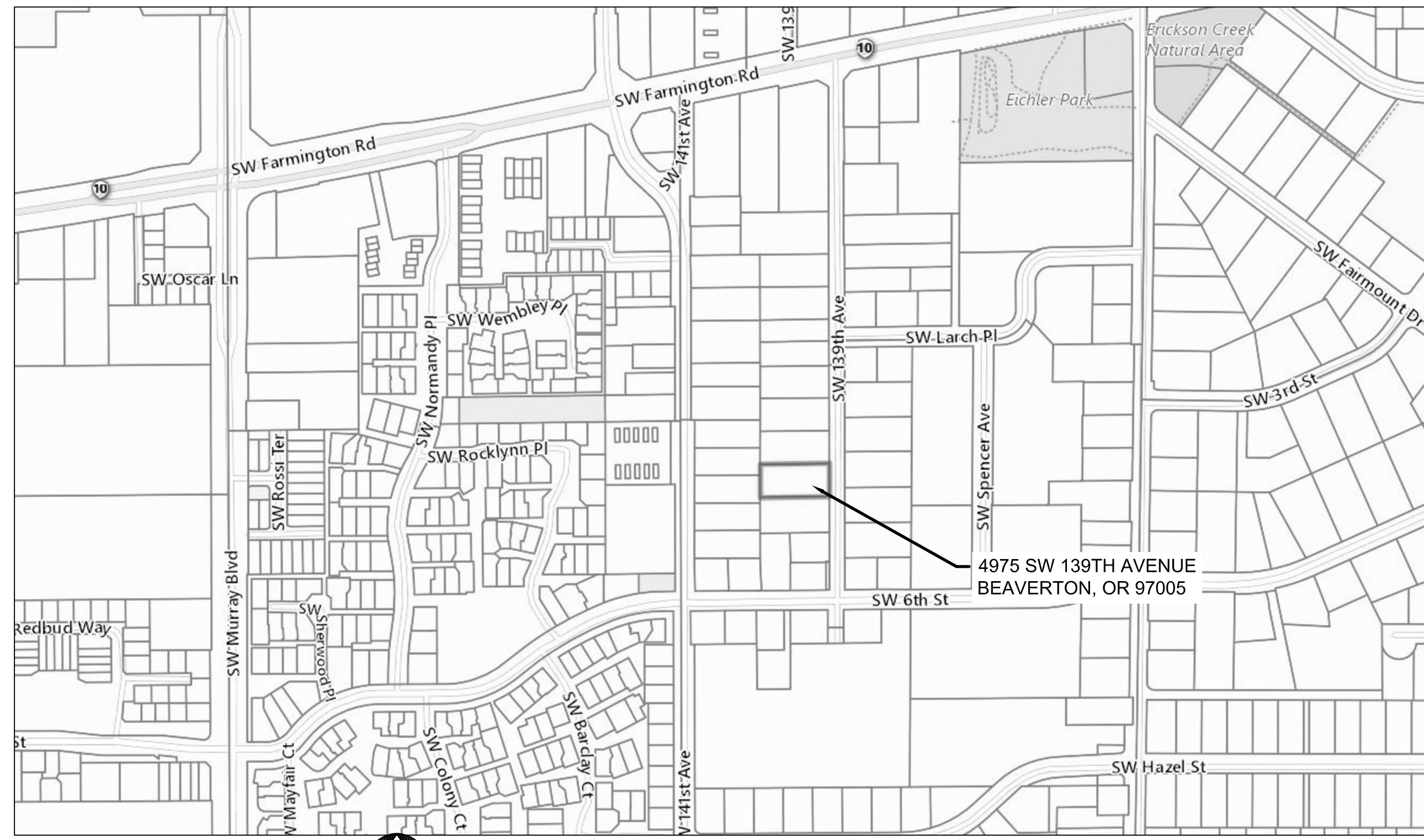


Received
Planning Division
04/11/2024



VICINITY MAP
SCALE: NTS

1
C1

SURVEY NOTES

1. THE FIELD WORK WAS COMPLETED DURING JUNE 2022.
2. ELEVATIONS ARE BASED ON G.P.S. OBSERVATIONS AND ARE ON THE NGVD 1929 VERTICAL DATUM.
3. A TITLE REPORT WAS NOT PROVIDED FOR THE PROPERTY. IT IS UNKNOWN IF THE PROPERTY IS ENCUMBERED BY ANY EASEMENTS.
4. UTILITY LOCATE MARKINGS ARE PER TICKET NO. 22143295 AND 22157852.

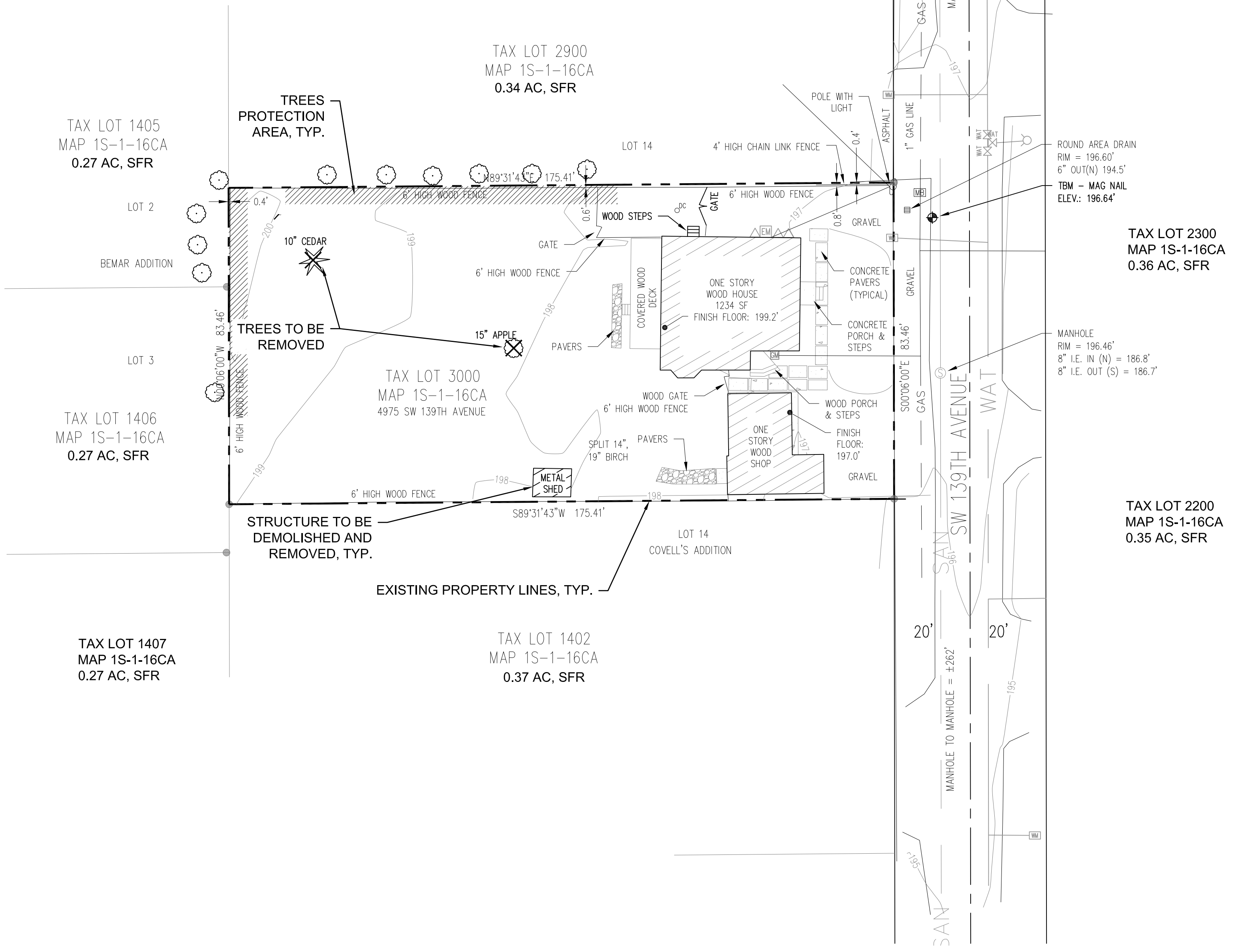
UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CIVIL SHEETS DRAWING LIST		
PAGE NO.	SHEET NO.	TITLE
1	C1	EXISTING SITE
2	C2	LOT PARTITION LAYOUT
3	C3	PROPOSED SITE PLAN
4	C4	GRADING PLAN
5	C5	PROPOSED UTILITY PLAN
6	C6	PROFILES AND SECTIONS
7	L1	LANDSCAPING PLAN
8	T1	TREE PLAN
9	LU1	SURROUNDING LAND USE

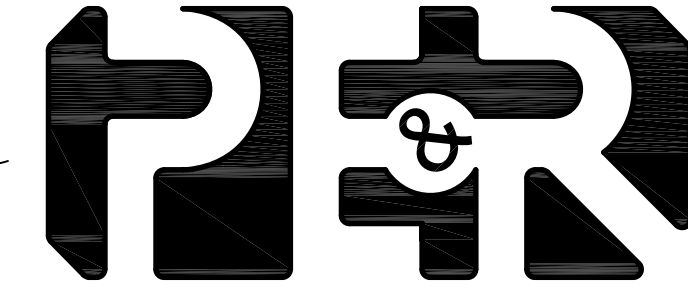
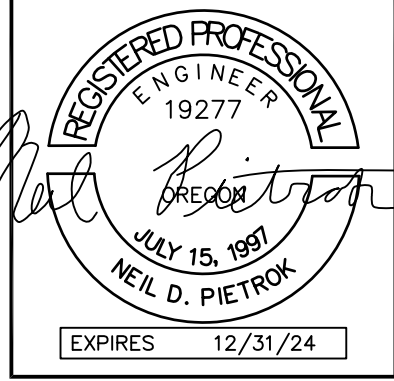
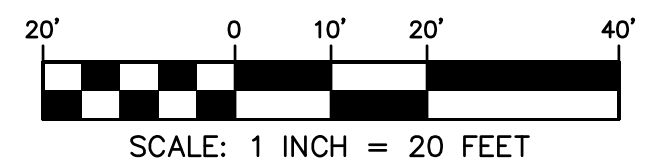
LEGEND

DECIDUOUS TREE	
CONIFEROUS TREE	
FIRE HYDRANT	
WATER METER	
WATER VALVE	
SANITARY SEWER MANHOLE	
STORM SEWER CLEAN OUT	
STORM SEWER AREA DRAIN	
STORM SEWER MANHOLE	
GAS METER	
UTILITY POLE	
ELECTRICAL METER	
TELEPHONE/TELEVISION JUNCTION BOX	
MAILBOX	
FOUND SURVEY MONUMENT	
RIGHT-OF-WAY LINE	
PROPERTY LINE	
CENTERLINE	
EDGE OF PAVEMENT	
FENCE LINE	
GRAVEL EDGE	
OVERHEAD WIRE	
GAS LINE	
STORM SEWER LINE	
SANITARY SEWER LINE	
WATER LINE	



EXISTING SITE SURVEY AND
DEMOLITION PLAN
SCALE: 1"=20'

2
C1



PIETROK ENGINEERING
AND RESOURCES LLC
13539 NW Springville Road
Portland, OR 97229
PH: 503-793-3469

FILENAME	178-C1
DATE	09/01/2023
DESIGNER	NDP
DRAFTER	NDP
REVIEWER	DI

TWO LOT PARTITION FOR
TL ID: 1S116CA03000
4975 SW 139TH AVENUE
BEAVERTON, OREGON 97005
R129462
ZONING: SFR, RMC

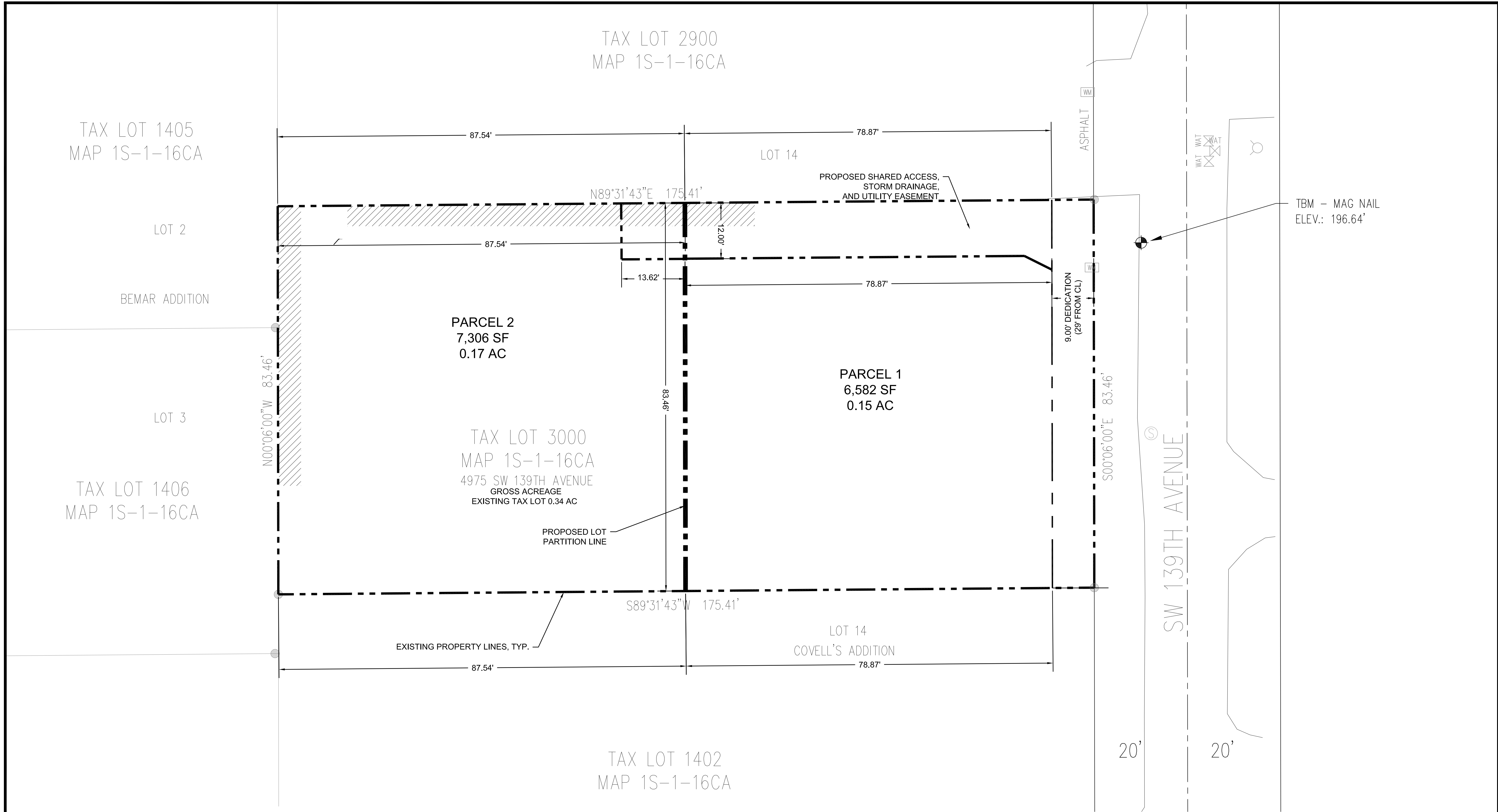
SW 139TH AVENUE

BEAVERTON, OR

**LOT PARTITION
EXISTING SITE**

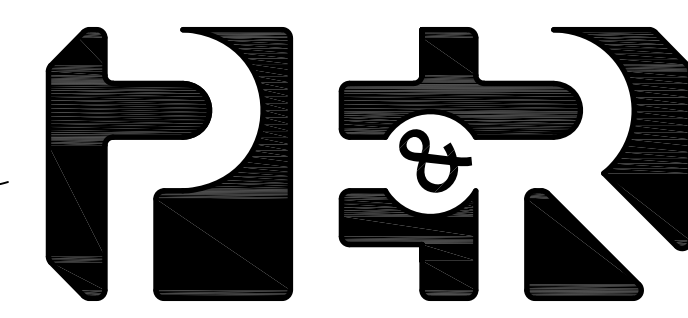
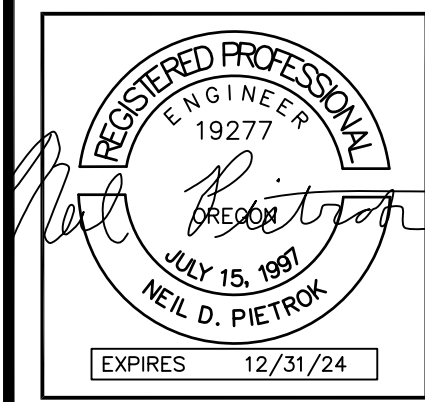
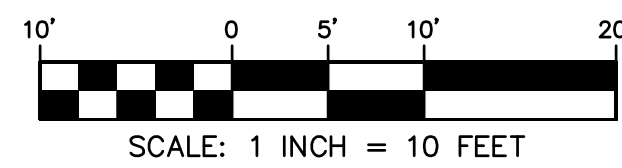
No.	REVISION	DATE	BY
1		12/12/23	NDP

SHEET	1
OF	9
DRAWING NUMBER	178-C1



LOT PARTITION
PLAN
SCALE: 1"=10'

1
C2



PIETROK ENGINEERING
AND RESOURCES LLC
13539 NW Springville Road
Portland, OR 97229
PH: 503-793-3469

FILENAME	178-C2
DATE	09/01/2023
DESIGNER	NDP
DRAFTER	NDP
REVIEWER	DI

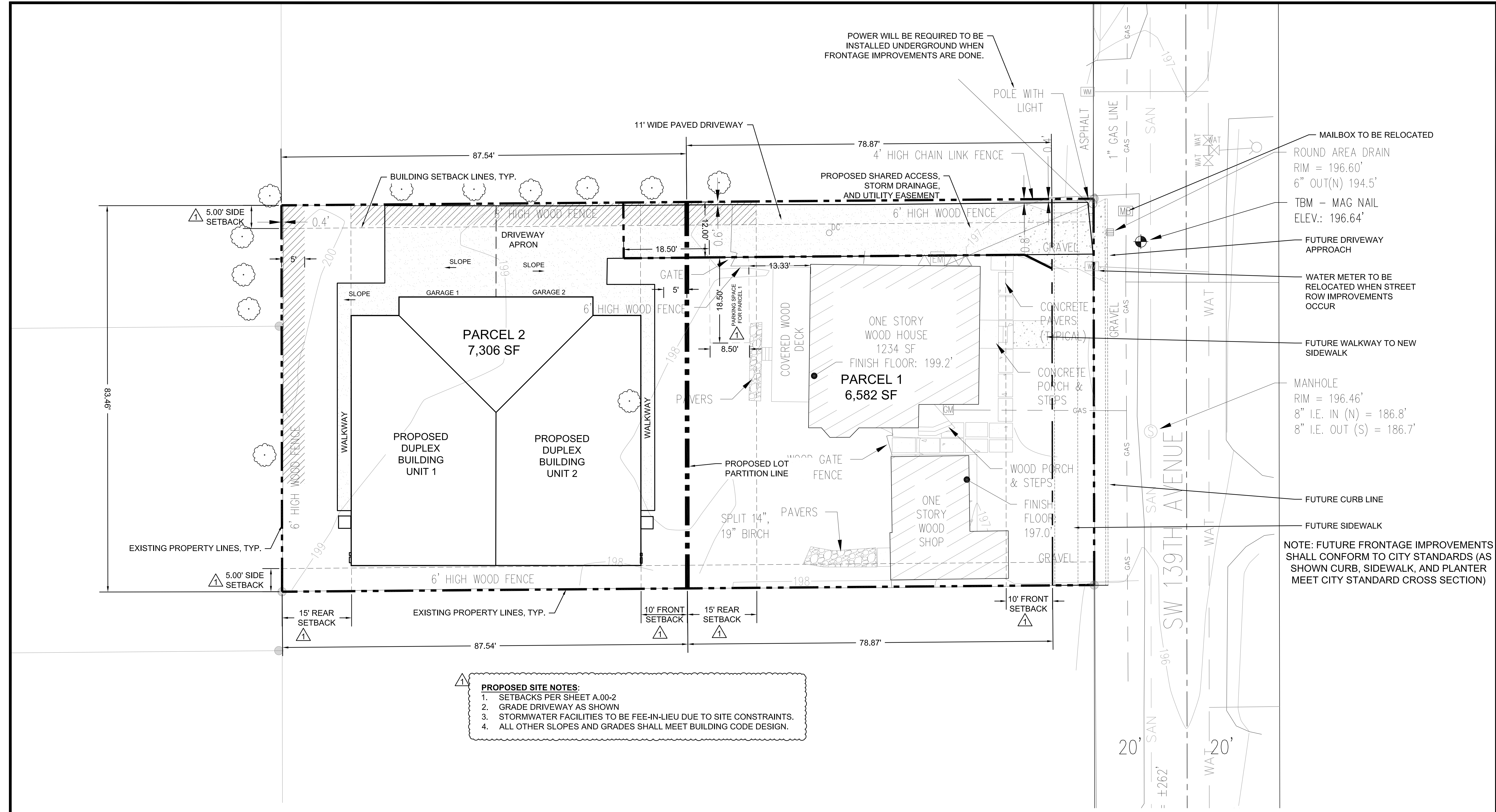
TWO LOT PARTITION FOR
TL ID: 1S116CA03000
4975 SW 139TH AVENUE
BEAVERTON, OREGON 97005
R129462
ZONING: SFR, RMC

SW 139TH AVENUE BEAVERTON, OR

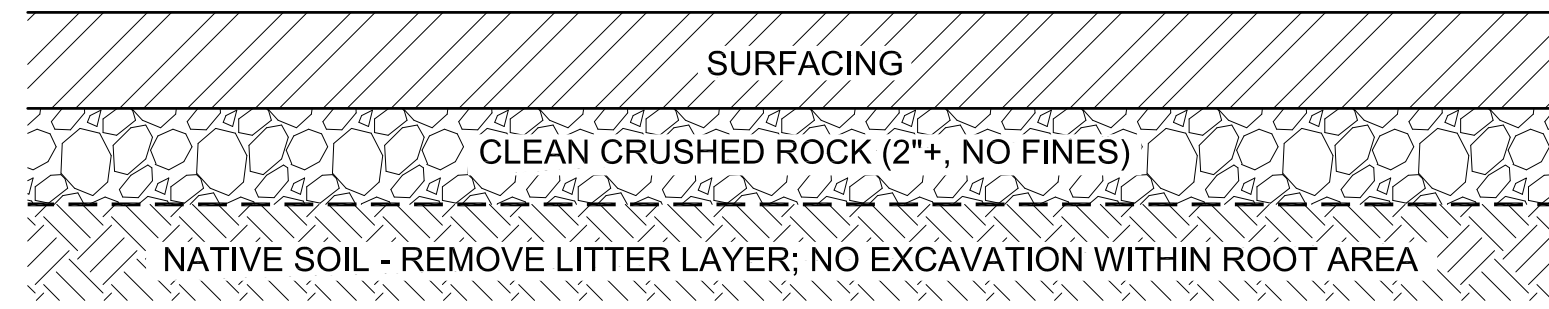
LOT PARTITION LOT PARTITION LAYOUT

No.	REVISION	DATE	BY
1	REVISION	12/12/23	NDP

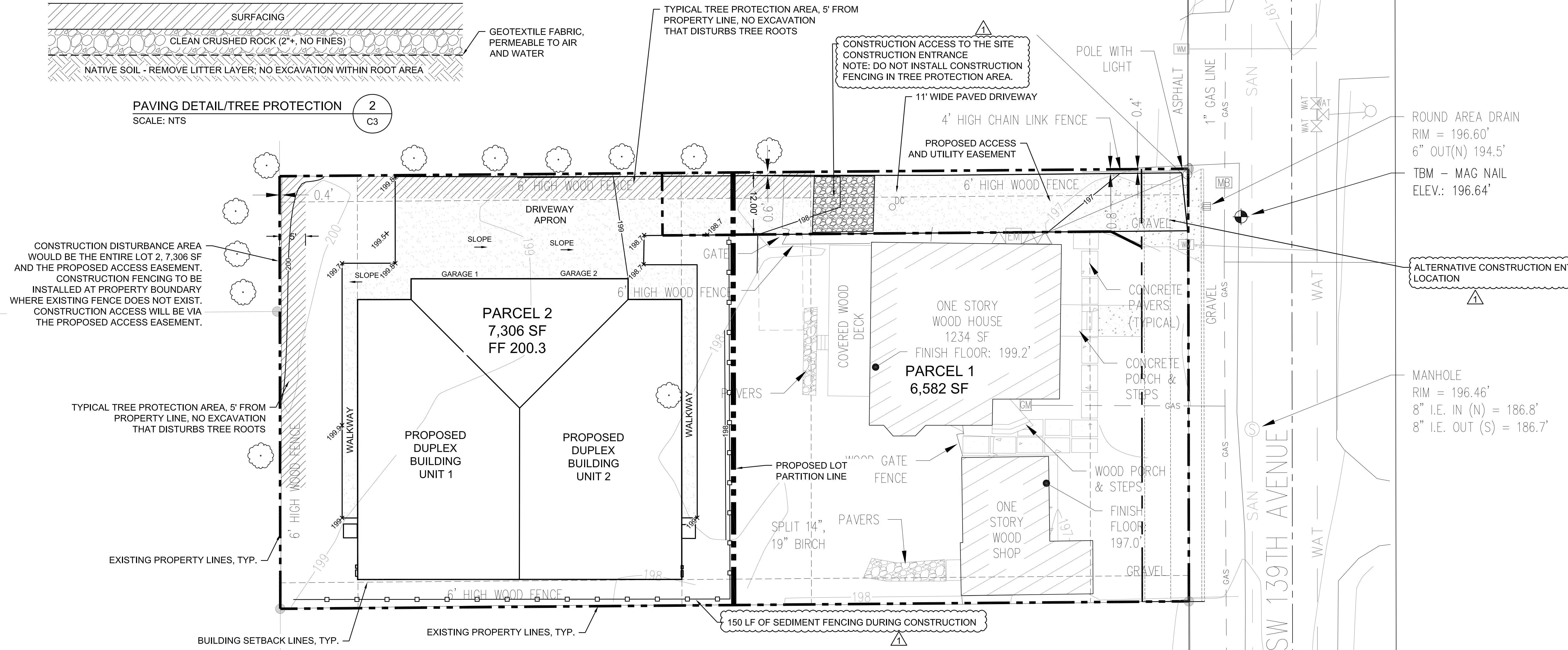
SHEET
OF
9
DRAWING NUMBER
178-C2



	<p>PIETROK ENGINEERING AND RESOURCES LLC 13539 NW Springville Road Portland, OR 97229 PH: 503-793-3469</p>	<p>FILENAME: 178-C3 DATE: 06/06/2023 DESIGNER: NDP DRAFTER: NDP REVIEWER: DI</p> <p>TWO LOT PARTITION FOR TL ID: 1S116CA03000 4975 SW 139TH AVENUE BEAVERTON, OREGON 97005 R129462 ZONING: SFR, RMC</p>	<p>SW 139TH AVENUE BEAVERTON, OR</p> <p>LOT PARTITION PROPOSED SITE PLAN</p>	<p>No. REVISION DATE BY</p>	<p>12/12/23 NDP</p>	<p>SHEET OF 9 3</p> <p>DRAWING NUMBER 178-C3</p>



PAVING DETAIL/TREE PROTECTION
SCALE: NTS



CONSTRUCTION DISTURBANCE AREA WOULD BE THE ENTIRE LOT 2, 7,306 SF AND THE PROPOSED ACCESS EASEMENT. CONSTRUCTION FENCING TO BE INSTALLED AT PROPERTY BOUNDARY WHERE EXISTING FENCE DOES NOT EXIST. CONSTRUCTION ACCESS WILL BE VIA THE PROPOSED ACCESS EASEMENT.

TYPICAL TREE PROTECTION AREA, 5' FROM PROPERTY LINE, NO EXCAVATION THAT DISTURBS TREE ROOTS

EXISTING PROPERTY LINES, TYP.

BUILDING SETBACK LINES, TYP.

EXISTING PROPERTY LINES, TYP.

CONSTRUCTION ACCESS TO THE SITE CONSTRUCTION ENTRANCE
NOTE: DO NOT INSTALL CONSTRUCTION FENCING IN TREE PROTECTION AREA.

ROUND AREA DRAIN
RIM = 196.60'
6" OUT(N) 194.5'
TBM - MAG NAIL
ELEV.: 196.64'

ALTERNATIVE CONSTRUCTION ENTRANCE LOCATION

MANHOLE
RIM = 196.46'
8" I.E. IN (N) = 186.8'
8" I.E. OUT (S) = 186.7'

PROPOSED GRADING NOTES:

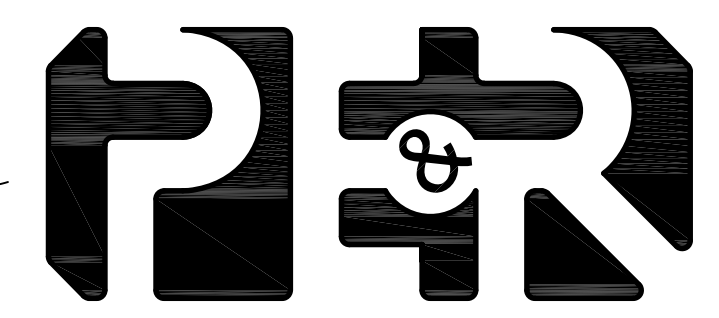
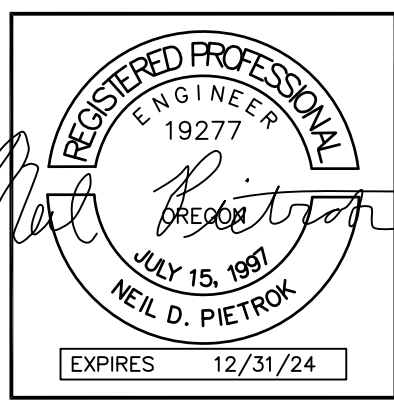
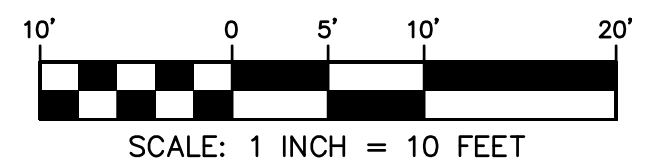
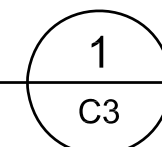
1. SETBACKS PER SHEET A-00-2
2. GRADE DRIVEWAY AS SHOWN
3. ALL OTHER SLOPES AND GRADES SHALL MEET BUILDING CODE DESIGN.
4. THE NEW STRUCTURE PROPOSED WILL BE AT GRADE. NO SIGNIFICANT GRADING OR CROSS SECTION WILL BE NEEDED FOR THIS SITE OTHER THAN FINE GRADING FOR THE NEW DRIVEWAY.

ADDITIONAL CONSTRUCTION NOTES:

1. THE SITE IS SURROUNDING ON THREE SIDES BY FENCE, NO CONSTRUCTION FENCE IS PROPOSED ON THESE SIDES OF THE PROPERTY.
2. PLACE CONSTRUCTION FENCING ON THE BOUNDARY OF THE NEW LOT LINE EXCEPT THE ENTRY.



PROPOSED SITE PLAN
SCALE: 1"=10'



PIETROK ENGINEERING AND RESOURCES LLC
13539 NW Springville Road
Portland, OR 97229
PH: 503-793-3469

FILENAME	178-C4
DATE	06/06/2023
DESIGNER	NDP
DRAFTER	NDP
REVIEWER	DI

TWO LOT PARTITION FOR
TL ID: 1S116CA03000
4975 SW 139TH AVENUE
BEAVERTON, OREGON 97005
R129462
ZONING: SFR, RMC

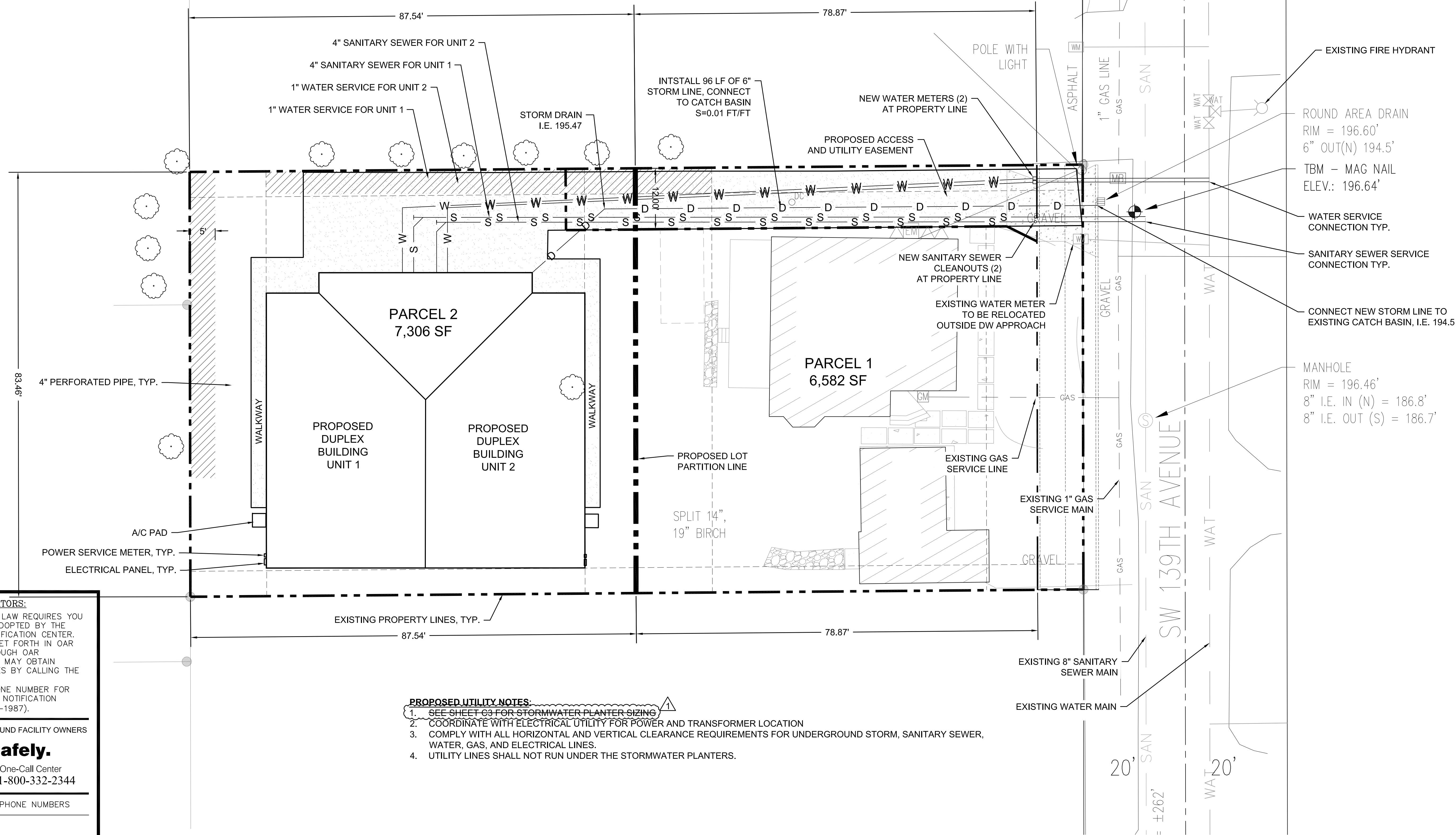
SW 139TH AVENUE

BEAVERTON, OR

LOT PARTITION GRADING PLAN

No.	REVISION	DATE	BY
1	REVISION	12/8/23	NDP

SHEET **4** OF **9**
DRAWING NUMBER 178-C4



NOTICE TO EXCAVATORS:
ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER.
(NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987).

POTENTIAL UNDERGROUND FACILITY OWNERS

Dig Safely.
Call the Oregon One-Call Center
DIAL 811 or 1-800-332-2344

EMERGENCY TELEPHONE NUMBERS

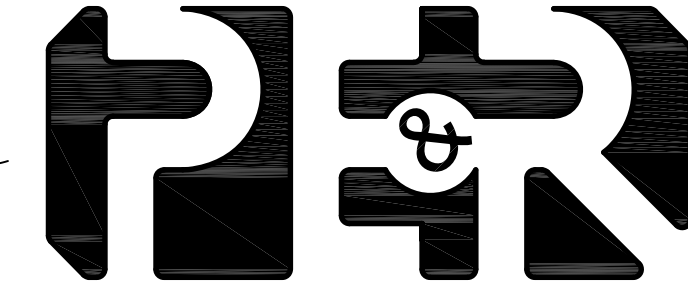
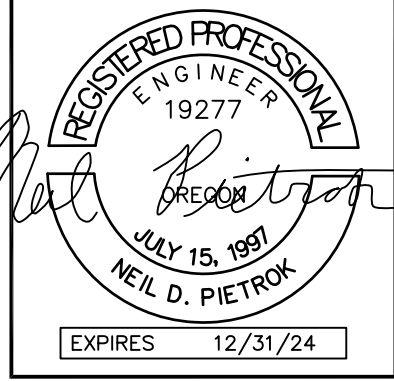
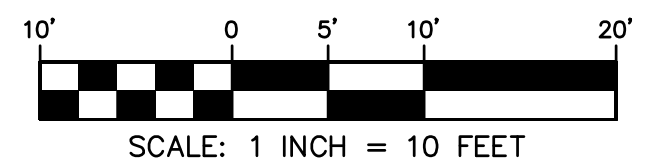
NW NATURAL GAS
M-F 7am-6pm 503-226-4211 Ext.4313
AFTER HOURS 503-226-4211
PGE 503-464-7777
CENTURYLINK 1-800-573-1311
CITY BUREAU OF MAINTENANCE 503-823-1700
CITY WATER 503-823-4874
VERIZON 1-800-483-1000

- PROPOSED UTILITY NOTES:**
- SEE SHEET C9 FOR STORMWATER PLANTER SIZING
 - COORDINATE WITH ELECTRICAL UTILITY FOR POWER AND TRANSFORMER LOCATION
 - COMPLY WITH ALL HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS FOR UNDERGROUND STORM, SANITARY SEWER, WATER, GAS, AND ELECTRICAL LINES.
 - UTILITY LINES SHALL NOT RUN UNDER THE STORMWATER PLANTERS.



UTILITY PLAN
SCALE: 1"=10'

1
C4



PIETROK ENGINEERING AND RESOURCES LLC
13539 NW Springville Road
Portland, OR 97229
PH: 503-793-3469

FILENAME 178-C5
DATE 06/06/2023
DESIGNER NDP
DRAFTER NDP
REVIEWER DI

TWO LOT PARTITION FOR
TL ID: 1S116CA03000
4975 SW 139TH AVENUE
BEAVERTON, OREGON 97005
R129462
ZONING: SFR, RMC

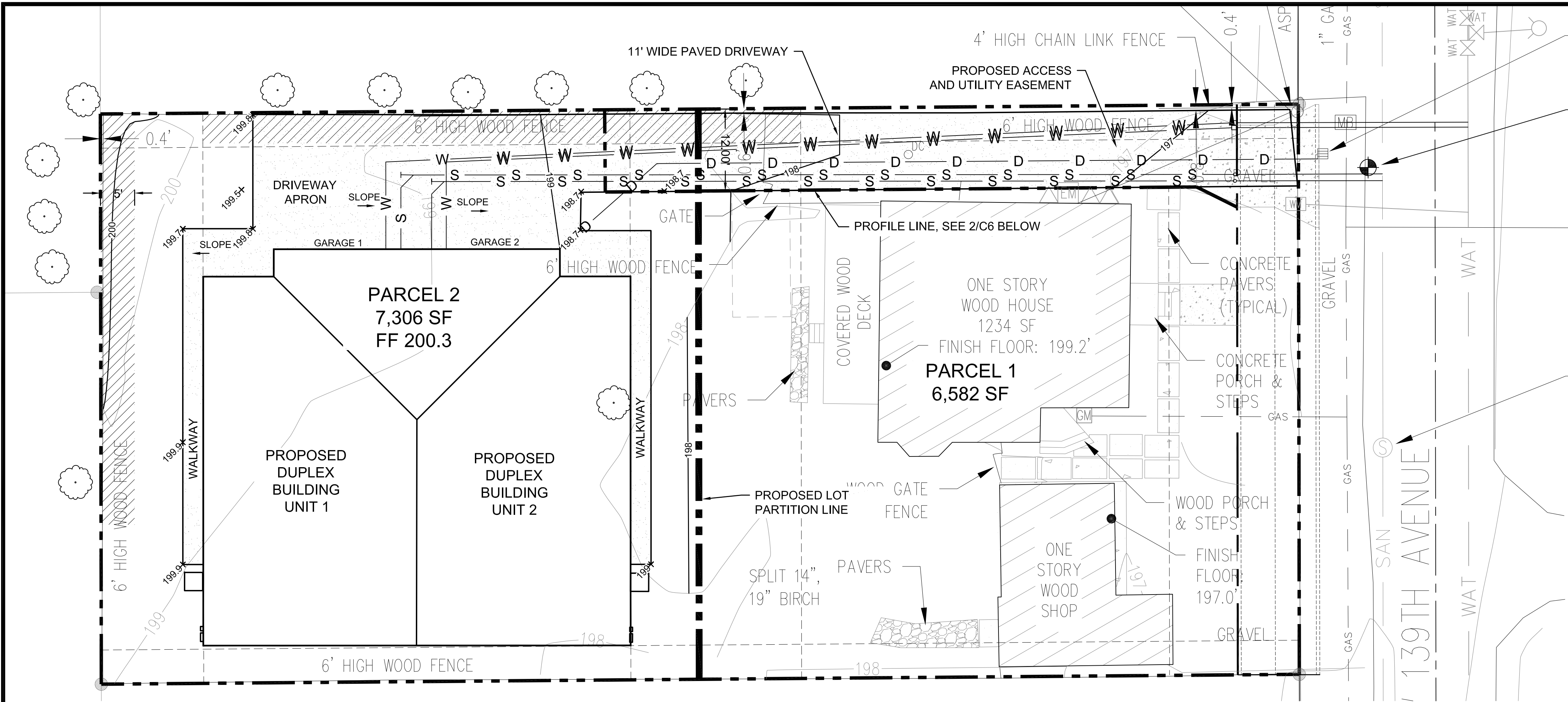
SW 139TH AVENUE

BEAVERTON, OR

LOT PARTITION
PROPOSED UTILITY PLAN

No.	REVISION	DATE	BY
1		12/12/23	NDP

SHEET OF 5
DRAWING NUMBER 178-C5



ROUND AREA DRAIN
RIM = 196.60'
6" OUT(N) 194.5'

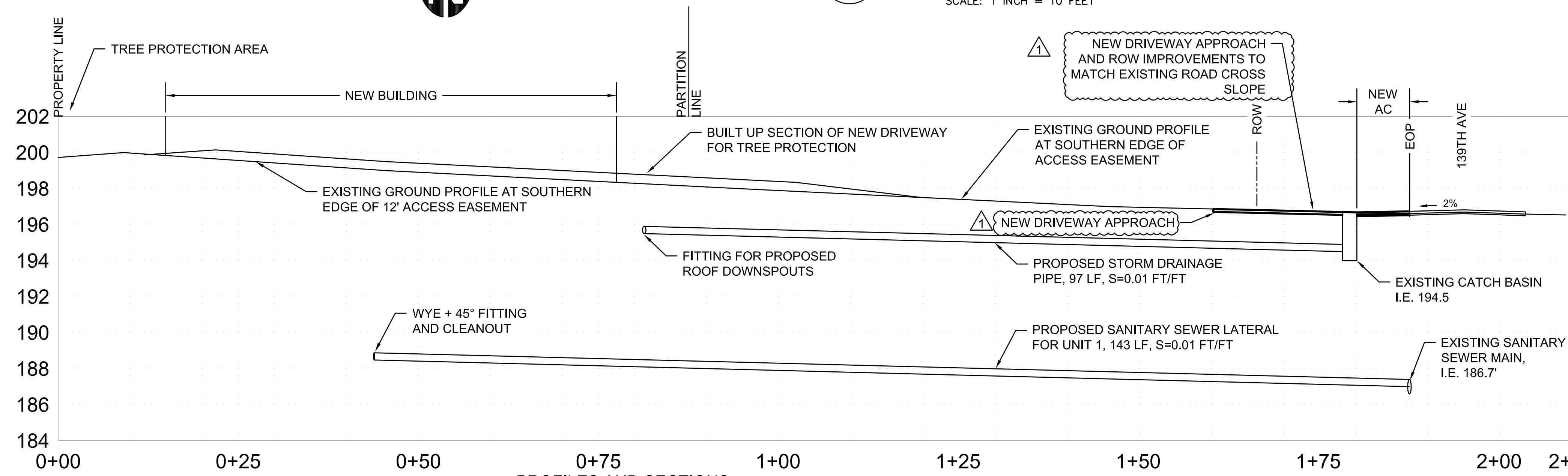
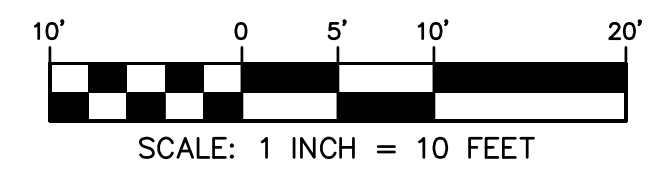
TBM - MAG NAIL
ELEV.: 196.64'

MANHOLE
RIM = 196.46'
8" I.E. IN (N) = 186.8'
8" I.E. OUT (S) = 186.7



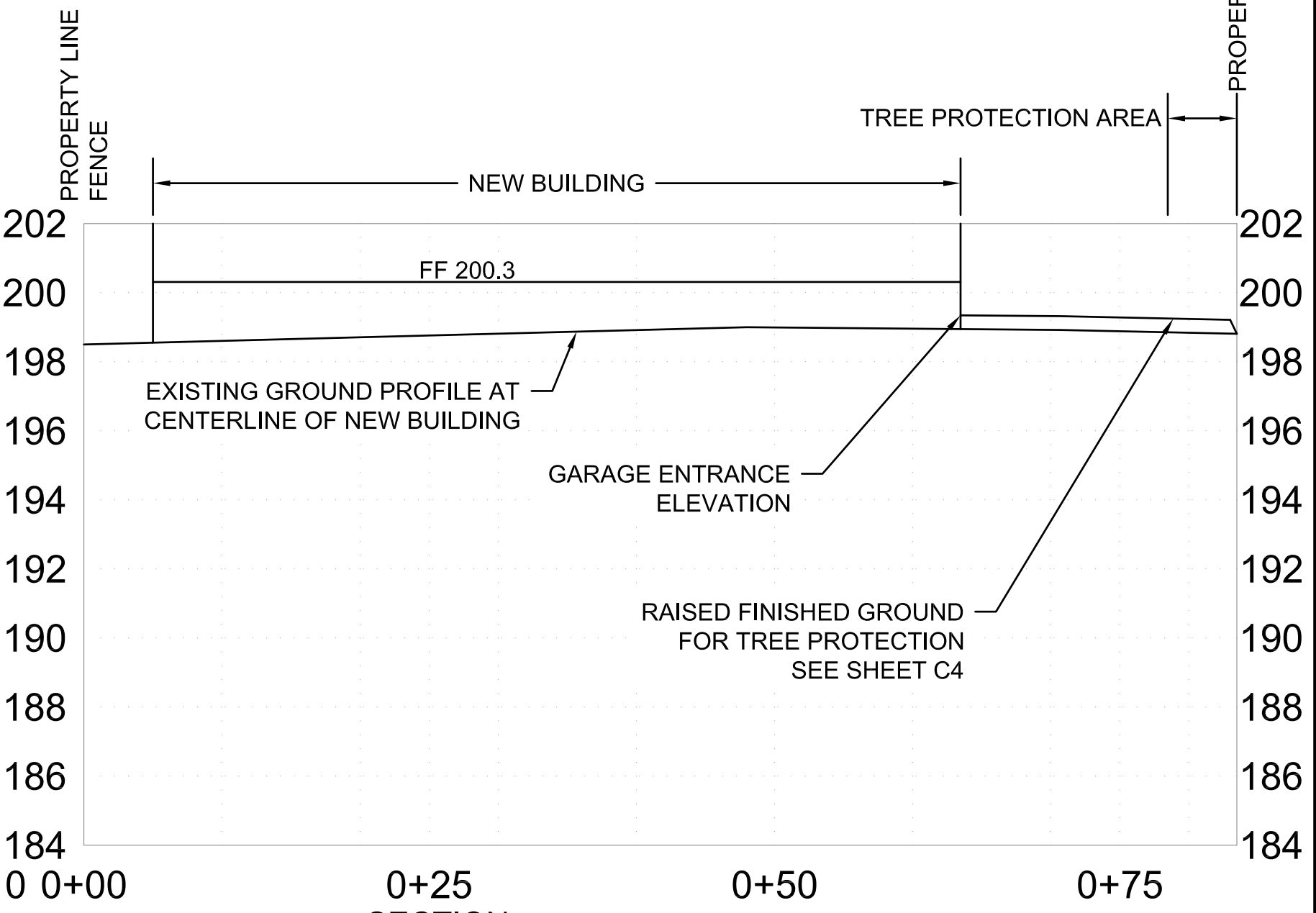
PROPOSED SITE PLAN
SCALE: 1"=10'

1
C6



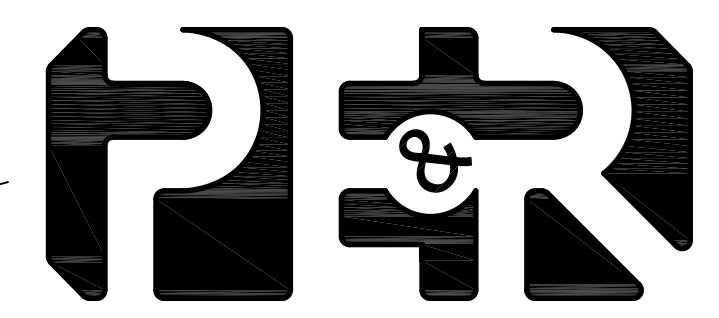
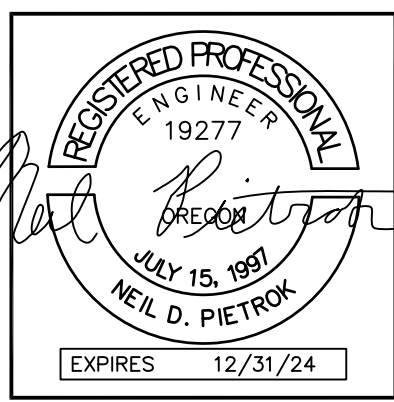
PROFILES AND SECTIONS AT SOUTHERN EDGE OF ACCESS RD
SCALE: HORIZ. 1"=10'
VERT. 1"=4'

2
C6



SECTION AT CENTERLINE OF NEW BUILDING
SCALE: HORIZ. 1"=10'
VERT. 1"=4'

3
C6



PIETROK ENGINEERING AND RESOURCES LLC
13539 NW Springville Road
Portland, OR 97229
PH: 503-793-3469

FILENAME: 178-C4
DATE: 06/06/2023
DESIGNER: NDP
DRAFTER: NDP
REVIEWER: DI

TWO LOT PARTITION FOR
TL ID: 1S116CA03000
4975 SW 139TH AVENUE
BEAVERTON, OREGON 97005
R129462
ZONING: SFR, RMC

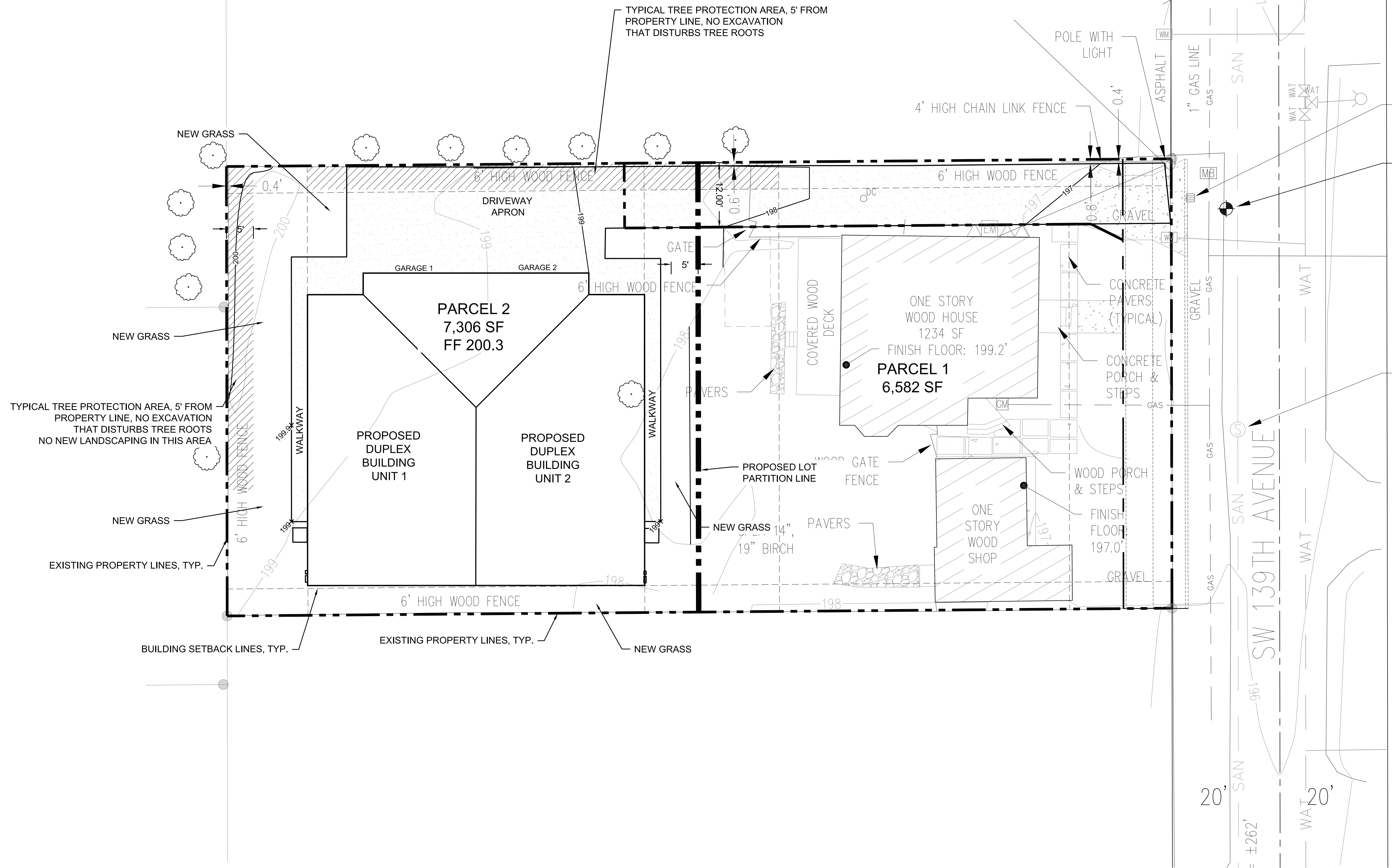
SW 139TH AVENUE

BEAVERTON, OR

**LOT PARTITION
PROFILES AND SECTIONS**

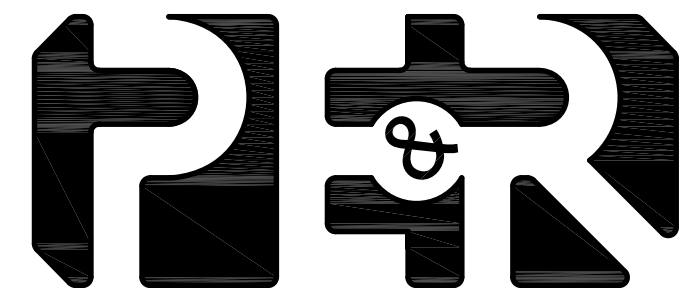
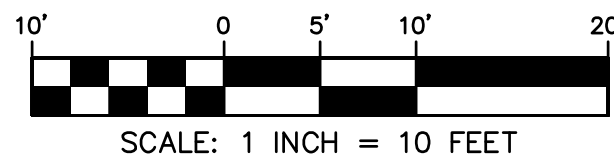
No.	REVISION	DATE	BY
1		12/12/23	NDP

SHEET **6** OF **9**
DRAWING NUMBER 178-C6



PROPOSED LANDSCAPING PLAN
SCALE: 1"=10'

1
C7



PIETROK ENGINEERING AND RESOURCES LLC
13539 NW Springville Road
Portland, OR 97229
PH: 503-793-3469

FILENAME
178-L1
DATE
12/3/2023
DESIGNER
NDP
DRAFTER
NDP
REVIEWER
DI

TWO LOT PARTITION FOR
TL ID: 1S116CA03000
4975 SW 139TH AVENUE
BEAVERTON, OREGON 97005
R129462
ZONING: SFR, RMC

SW 139TH AVENUE

BEAVERTON, OR

LOT PARTITION
LANDSCAPING PLAN

No.	REVISION	DATE	BY
1	REVISION	12/12/23	NDP

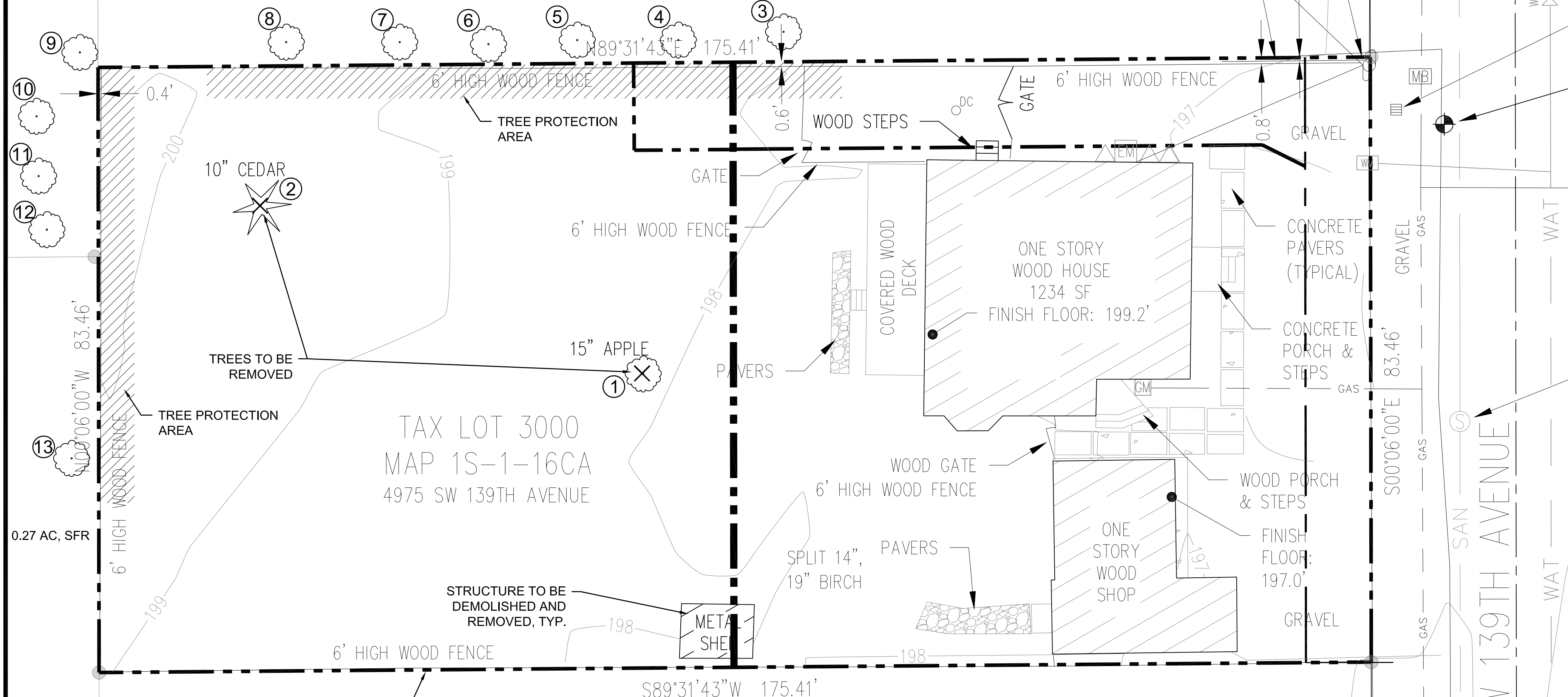
SHEET
OF
9
7
DRAWING NUMBER
178-L1

TAX LOT 2900
MAP 1S-1-16CA
0.34 AC, SFR

0.27 AC, SFR

NOTE: SEE SHEET C4 FOR TREE PAVEMENT PROTECTION DETAIL

LOT 14 4' HIGH CHAIN LINK FENCE



TAX LOT 3000
MAP 1S-1-16CA
4975 SW 139TH AVENUE

STRUCTURE TO BE DEMOLISHED AND REMOVED, TYP.

TAX LOT 1402
MAP 1S-1-16CA
0.37 AC, SFR

TAX LOT 1407
MAP 1S-1-16CA
0.27 AC, SFR

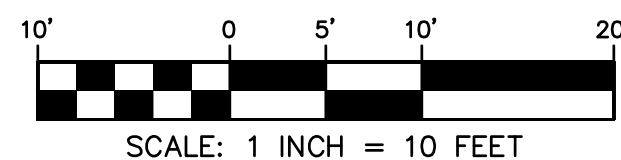
EXISTING PROPERTY LINES, TYP.

LOT 14
COVELL'S ADDITION



TREE PLAN
TREE PLAN
SCALE: 1"=10'

1
T1



Tree No.	Common Name	Scientific Name	Decid. or Conf.	DBH ¹	C-Rad ²	Condition ³	Structure ³	Comments	Tree Type	Treatment
1	orchard apple	<i>Malus domestica</i>	decid.	15	13	fair	fair	headed for fruit production	exempt ⁴ (edible fruit tree)	remove
2	western redcedar	<i>Thuja plicata</i>	conf.	10	11	very poor	very poor	dying from top down	community tree	remove
3	incense cedar	<i>Calocedrus decurrens</i>	conf.	12,12	10	fair	fair	headed, offsite, size and location approximated by arborist	offsite	retain
4	incense cedar	<i>Calocedrus decurrens</i>	conf.	7	5	good	fair	moderately one sided, offsite, size and location approximated by arborist	offsite	retain
5	incense cedar	<i>Calocedrus decurrens</i>	conf.	7	4	good	good	offsite, size and location approximated by arborist	offsite	retain
6	incense cedar	<i>Calocedrus decurrens</i>	conf.	14	8	fair	fair	headed, one sided, offsite, size and location approximated by arborist	offsite	retain
7	incense cedar	<i>Calocedrus decurrens</i>	conf.	8	6	good	fair	multiple leaders at top, offsite, size and location approximated by arborist	offsite	retain
8	incense cedar	<i>Calocedrus decurrens</i>	conf.	12	4	fair	fair	headed, one sided, offsite, size and location approximated by arborist	offsite	retain
9	incense cedar	<i>Calocedrus decurrens</i>	conf.	14	10	good	fair	codominant at 8', one sided, offsite, size and location approximated by arborist	offsite	retain
10	incense cedar	<i>Calocedrus decurrens</i>	conf.	14	10	good	fair	codominant at 8', one sided, offsite, size and location approximated by arborist	offsite	retain
11	river birch	<i>Betula nigra</i>	decid.	12	20	good	fair	multiple leaders at 10' to 15', offsite, size and location approximated by arborist	offsite	retain
12	river birch	<i>Betula nigra</i>	decid.	13	15	good	fair	multiple leaders at 10' to 15', offsite, size and location approximated by arborist	offsite	retain
13	English hawthorn	<i>Crataegus monogyna</i>	decid.	7.4,3x8	8	good	fair	multiple leaders at ground level, offsite, size and location approximated by arborist	offsite	retain

¹DBH is the trunk diameter measured according to the International Society of Arboriculture standards in inches. In cases where the tree splits into multiple trunks at ground level, DBH is the square root of the sum of the squared DBH of each stem.
²C-rad is the approximate crown radius in feet.
³Condition and Structure ratings range from very poor, poor, fair, to good.
⁴Exempt trees include hemlock, madrone, and bigleaf maples less than 6-inch DBH, any other species less than 10-inch DBH, trees listed as a nuisance species on the Metro Native Plant List (Ord. No. 98-730C) or Beaverton Development Code Section 40.90.10, trees producing edible fruits, offsite trees, and stumps. Note that although hemlock, madrone, and bigleaf maples between 6- and 10-inch DBH are surveyed trees, they are not considered community trees and thus are "exempt".

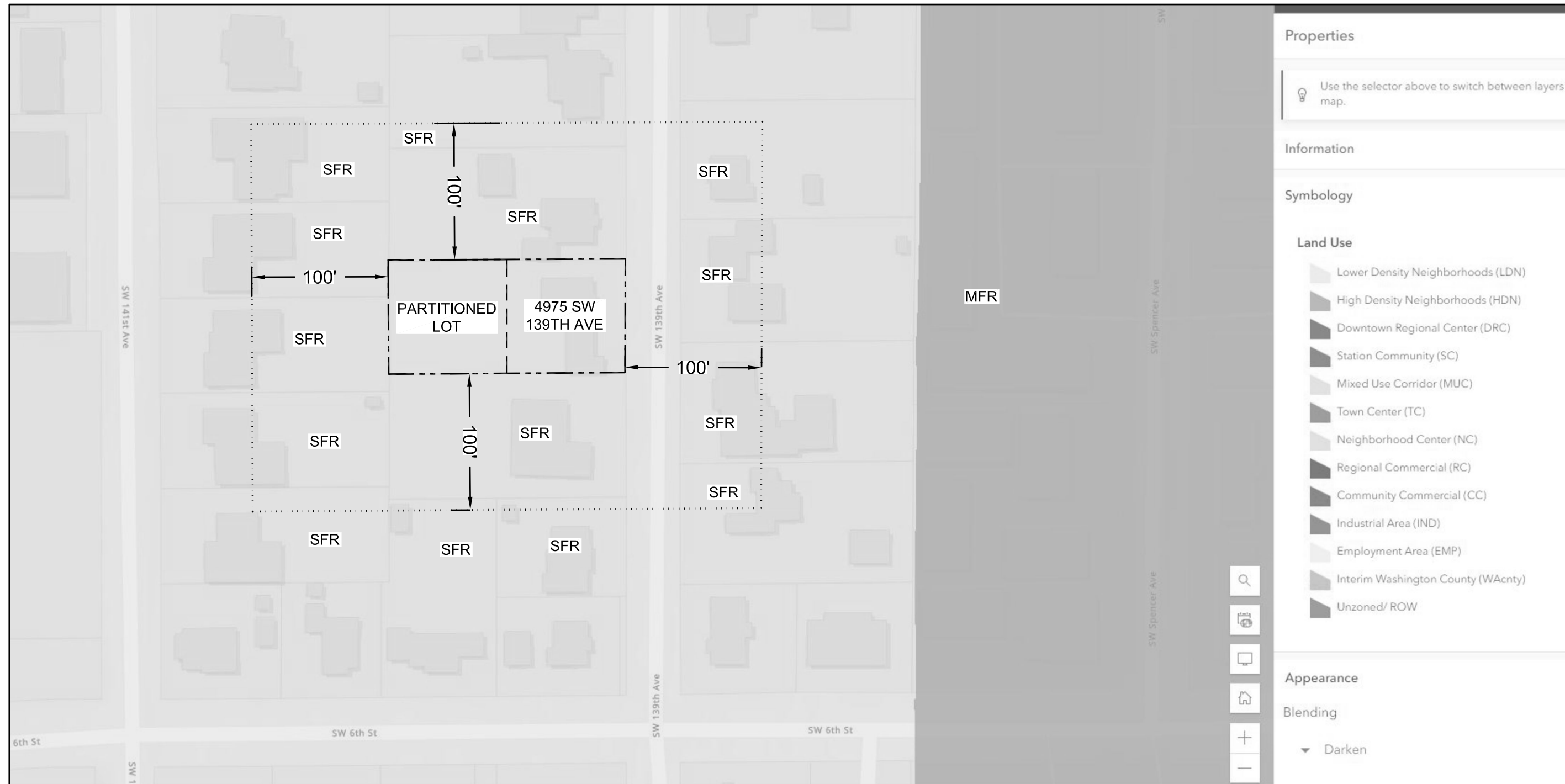
Todd Prager Associates, LLC
601 Atwater Road • Lake Oswego, OR 97034
Phone: 971.295.4835 • Email: todd@todprager.com • Website: todprager.com

LEGEND

- DECIDUOUS TREE
- CONIFEROUS TREE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- SANITARY SEWER MANHOLE
- STORM SEWER CLEAN OUT
- STORM SEWER AREA DRAIN
- STORM SEWER MANHOLE
- GAS METER
- UTILITY POLE
- ELECTRICAL METER
- TELEPHONE/TELEVISION JUNCTION BOX
- MAILBOX
- FOUND SURVEY MONUMENT

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- CENTERLINE
- EDGE OF PAVEMENT
- FENCE LINE
- GRAVEL EDGE
- OVERHEAD WIRE
- GAS LINE
- STORM SEWER LINE
- SANITARY SEWER LINE
- WATER LINE

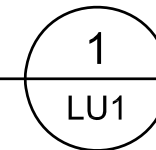
FILENAME 178-T1 DATE 11/24/2023 DESIGNER TPA DRAFTER NDP REVIEWER DI	TWO LOT PARTITION FOR TL ID: 1S116CA03000 4975 SW 139TH AVENUE BEAVERTON, OREGON 97005 R129462 ZONING: SFR, RMC	SW 139TH AVENUE LOT PARTITION TREE PLAN	BEAVERTON, OR	1	REVISION	12/12/23	NDP	SHEET 9 OF 8 DRAWING NUMBER 178-T1
				No.	REVISION	DATE	BY	



NOTE: PHOTO TAKEN FROM CITY OF BEAVERTON GIS SHOWING LAND USE AND ZONING



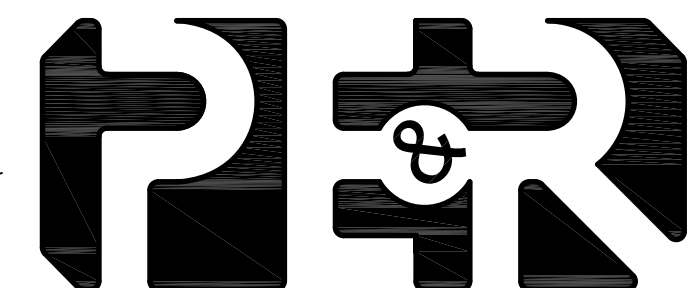
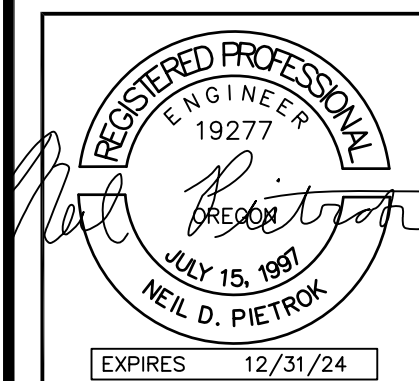
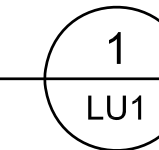
SURROUNDING LAND USE PLAN
SCALE: NTS



NOTE: PHOTO SHOWING ADDRESSES, STREETS, TREES, DRIVEWAYS, AND BUILDINGS WITHIN 100' OF SUBJECT PROPERTY, SEE 100' BOUNDARY IN LAND USE PHOTO AT LEFT



AERIAL PHOTO
SCALE: NTS



PIETROK ENGINEERING AND RESOURCES LLC
13539 NW Springville Road
Portland, OR 97229
PH: 503-793-3469

FILENAME	178-LU1
DATE	12/08/2023
DESIGNER	NDP
DRAFTER	NDP
REVIEWER	DI

TWO LOT PARTITION FOR
TL ID: 1S116CA03000
4975 SW 139TH AVENUE
BEAVERTON, OREGON 97005
R129462
ZONING: SFR, RMC

SW 139TH AVENUE

BEAVERTON, OR

**LOT PARTITION
SURROUNDING LAND USE**

No.	REVISION	DATE	BY
1	REVISION	12/12/23	NDP

SHEET
OF
9
DRAWING NUMBER
178-LU1